

Chris Nixon
Castle
6 Merchant Court
Monkton Business Park
Hebburn
Tyne & Wear
NE31 2EX

Kirkfields Business Centre
Kirk Lane
Yeadon
Leeds
West Yorkshire
LS19 7ET

☎ Tel: 0113 3410323 / 0113 3410324
✉ leeds@timberwise.co.uk

🌐 www.timberwise.co.uk

Date: - 12/02/2026

Dear Chris.

Thank You for Choosing Timberwise

Thank you for your enquiry and instructions to carry out an inspection on your behalf. Please find enclosed your survey report detailing our findings and recommendations for the below property.

Where applicable, we have also included a quotation for items of remedial work that Timberwise will be pleased to undertake for you.

Please read this report and the associated documentation carefully to ensure that they meet with your requirements. Should you have any questions, please do not hesitate to contact me and I will be pleased to answer any questions you may have.

Moving Forward – The Next Step

Arranging a convenient start date for any works to proceed couldn't be easier. Simply give your local Contracts Team a call on or contact them on **01133410323** or **01133410324**. You can also contact them via email on leeds@timberwise.co.uk.

Alternatively, you can accept your quotation online at www.acceptquote.co.uk

We look forward to hearing from you.

Yours sincerely,

Martin Wilkinson
CSRT CSSW
Senior Surveyor

For and on behalf of Timberwise (UK) Ltd.

Mobile: 07717378079

Email: francescaking@timberwise.co.uk

Trust The Experts – Trust Timberwise

At Timberwise we are very proud of our status and reputation within the property care industry. Along with our full Property Care Association status we are also members of other key organisations including 'Which?' Trusted Traders, Trust Mark and Safe Contractor.



TRUSTMARK
Government Endorsed Quality



For caring for your property there is only one name you need to know and trust – Timberwise. For over 50 years Timberwise have been caring for properties resulting in over half a million properties that have benefited from our services – this makes us a tried and trusted market leader in property care and gives you the confidence that you have made the right choice.

Don't just take our word for it though. Read some of the feedback received from customers who have already benefited from using Timberwise to care for their property.



**Your property is probably your most valuable asset, so why put it at risk ?
Timberwise are the one stop experts for property care that you can trust !**

Timberwise



**Property Preservation
Done Properly**

Survey Report & Proposal

Client:

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Property:

16 Barrington Street
South Shields
NE33 1BB

Surveyed by: Martin Wilkinson

Date of Instruction: 19/01/2024

Date of Survey 26/01/2024 & 05/08/25 & 10-02/26

Date of Report: 12/02/2026

Our Reference: NE16318-UPDATED



IMPORTANT

This report and quotation are issued subject to our standard terms and conditions, which shall form part of any Contract to carry out work based on the report. Please read them carefully.

Your Timberwise Report

This report has been compiled by our surveyor, Martin Wilkinson

We pride ourselves on easy to understand, yet comprehensive reports that provide you with all the necessary information you require to make an informed decision. Should you have any questions at all regarding the contents of the report, please contact your surveyor who will assist you further.

Francesca King CSTDB CSSW
Surveyor

Kirkfields Business Centre
Kirk Lane
Yeadon
Leeds LS19 7ET



Timberwise

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Structural Waterproofing
Dry Rot Treatment
Structural Timber Repair

Damp Proofing
Specialist Property Surveying
Woodworm Treatment

Survey Report Contents

1. Introduction and Scope
2. External Observations
3. Internal Observations & Recommendations
4. Further Information
5. Additional services & specialist treatments we also offer

Introduction and Scope

Your instructions were to inspect the above property to determine the presence and extent of problems associated with rising, penetrating dampness, atmospheric moisture, timber infestation, fungal decay to the accessible areas and timbers of the property.

Our specialist survey was restricted to those rooms or areas that you have requested us to inspect, and we therefore cannot comment on the conditions, good or bad, which may prevail elsewhere in the property and any contract arising from or deemed to have been entered into by reason of this survey is limited accordingly.

This report is based upon our instructions as we understand them. If any part of this report and/or the attached quotation requires clarification or fails to address your expectation, please contact the office/surveyor and let us know of your concern immediately.

Weather conditions at the time of our inspection were sunny with an outside temperature of 4°C.

At the time of our inspection the property was unoccupied.

The above-mentioned property is a detached property circa 1882 of solid brick construction.

For the purposes of identification, any descriptions are given as if facing the front of the property.

External Observations

External defects in a property can lead to penetrating damp and subsequent internal dampness or cold bridging, leaving internal areas colder than other wall surfaces and prone to condensation. A brief external inspection was carried out from ground floor only and the following noted –

Flashings

At the time of the survey the lead flashing to main roof were noted to be in poor condition and need of repair or replacement.

Flash banding has been used as a temporary measure to the glass lantern roof and has failed.



Roof coverings

At the time of the inspection missing/dislodged tiles/slates were noted to the front elevation.



Guttering and rainwater goods

At the time of the inspection broken guttering was noted to all elevations.

Water staining to the gutter joints/masonry on all elevations indicated that they are leaking.

Vegetation growth was noted to be sustained on all elevations / guttering at the time of inspection.

The guttering and downpipes are generally in poor condition and in need of repair or replacement.



Pointing

Isolated patches of defective mortar pointing were noted to all elevations.



Masonry

Facing bricks were noted to be spalled at the time of the inspection to the right side and rear elevations.



Existing Damp Proof course

An existing damp proof course could not be established due to a defective concrete plinth at the base of the elevations.



External coating/paint

At the time of the inspection flaking and debonding paint was noted to all painted windows and timber external structures to all elevations.



External Joinery

Wet rot decay was noted to all windows and surrounds, all doorways and surroundings to the steel fire exit to the right side and all other elevations at the time of the inspection.



Ventilation

Externally we could see numerous air bricks indicating that subfloor ventilation is adequate.

External Ground Levels

Generally the external ground levels when compared to ground floor are at the correct level, however when comparing to the basement level some of the external ground floor path levels are marginally higher than internal floor levels this relates to the left hand elevation of the building.

It is vital the property is maintained in a watertight condition to avoid the potential for internal dampness and condensation. Where external defects are noted within our report, we generally advise you instruct a relevant and competent tradesperson to inspect and carry out necessary repairs under a separate cost and contract; this is where works are not within our scope of specialist works.

Internal Timber Observations, Recommendations and Specification

IMPORTANT

Note, a further visit has been conducted on the 5th August 2025 to check the areas which were originally identified in the original report, we have added on additional findings and recommendations following on from this visit detailed within below.

We have left some of the original plans attached below however, based on this visit we have added amended sketch plans detailing target areas of concern within the boundaries of the parts of the building where water ingress has occurred.

We have also paid attention to the basement area in terms of the proposed damp proof course and have made omissions where we do not feel that works will be relevant or necessary such as the plant room areas, this will be detailed below in the damp roofing section.

Additional Update 10-02-26

Following on from a further site visit attended by our Graham Bulmer on the 3rd of February 2026 we are now of the understanding that the damp proof osmosis system and associated works are not to be installed to the lower ground area unless we are otherwise advised.

You should note that you have provided us with some curtailed drawings which we believe we reflected in our drawings on the last update we have now added the subsequent drawing to the bottom of this report which indicates areas of omissions for our works though we believe this is what we achieved on the last visit for example we did not recommend any works within the boardroom which has all the ornate panelling etc. As we stated within this report which was updated in August our works are pertinent to the areas highlighted in green and the vicinity of the Aug 25 amended plans below showing update from Feb 2026.

Timber Observations

Roof void

Our inspection was restricted by insulation therefore our findings are limited accordingly. We cannot comment on unseen areas such as flat roof areas or areas with sloping soffits. All areas in the proximity of water ingress should be regarded as suspect and exposed opened up to check the condition of any Timbers in contact with these areas.

Observations

Where inspection was possible, no active infestation was noted to the accessible timbers inspected.

Moisture meter readings taken to the roof timbers are reading between 23.8% to 32.8%, putting the roof void timbers at risk of timber decay and fungus.



Recommendations

Please instruct a reputable roofing contractor to carry out necessary repairs to the roof and ensure watertight upon opening areas up. It may come to light that there is evidence of decay affecting Timbers which we cannot see at this point in time.

Second floor

Observations

Inspection was severely limited by floor coverings carpets and plywood overlay

Where inspection was possible, no active infestation was noted to the accessible timbers inspected.

Floor joists and wall plate to the right-side elevation of the building, moisture meter readings taken to this timber by the external exit to the flat roof indicated a moisture reading of 100%. Timber decay was noted, Wet rot decay by Cellar Fungus (*Coniophora puteana*) was noted to the floor joists.

Timber decay was noted to the steel staircase fire exit door and surround.

Water ingress has caused issue with the plaster work and in many areas has become degraded we have highlighted these in green on the attached amended plans.

Wet Rot is caused by a number of basidiomycetes fungi of which one of the most important is *Coniophora puteana*. It attacks both softwood and hardwood causing a darkening of the timber (brown rot) or bleaching (white rot). Wet rot fungi usually occur in persistently damp conditions, needing an optimum moisture content of 40 to 60 per cent. Unlike Dry Rot, the conducting strands of wet rot fungi do not extend far from their nutrient wood so they cannot travel through masonry and brickwork. The fruiting bodies occur rarely in buildings. Wet Rot (*Coniophora puteana*), which has been known to hollow out giant beams, is responsible for much of the wood decay within buildings and, although not as serious as Dry Rot, is still a common cause of structural defects.



Recommendations

Client to remove existing floor coverings and boards to expose timber floor joists to areas of noted water ingress, **THIS IS WITHIN THE AREAS WE HAVE HIGHLIGHTED ON THE ADDED PLAN BELOW NOT THE ENTIRITY OF THE RED AREAS ORIGINALLY SHOWN** remove and replace all decayed timbers, ensuring timbers are not in direct contact with masonry. Whilst timbers are exposed Timberwise to apply a **localised** dual fungicidal/ insecticidal

We have detailed below the items of work that Timberwise will be pleased to undertake for you, together with quotations.

Staircase

Observations

The staircase was noted to be of a stone construction. The string to the stairs is showing signs of peeling paint and there are timber elements off skirting board however it would appear that the majority of the string is of a fibrous plaster nature and will need attention.

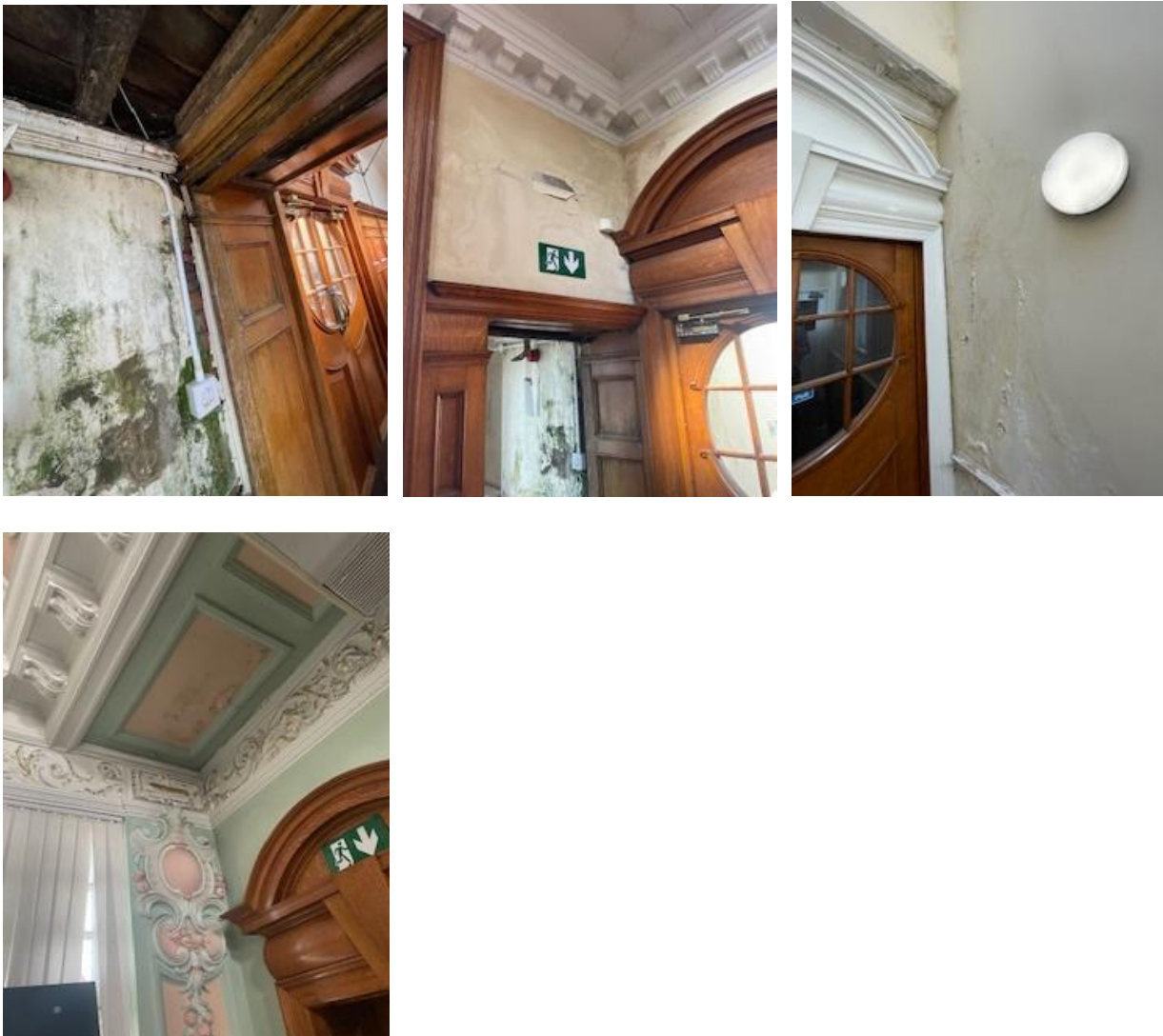


First Floor Level

Observations

Where inspection was possible, no active infestation was noted to the accessible timbers inspected. Due to failure of the glass lantern roof and flat roof above, water is freely running through the right side of the building, through the first floor and ground floor. Timber decay was noted, between 38.8% and 50.9% moisture meter reading were noted at the time of survey, to the entire floor, and wooden wall panelling, directly below the glass lantern roof, as pictured below. Wet rot decay by Cellar Fungus (*Coniophora puteana*) was noted to these timbers.

This has caused decay to the varnished ornate timber panelling and to the general area of the corridor leading to the rear right room, stripping out and exposure work will be necessary, and we have highlighted this again on the amended sketch plan below. Multiple areas of degraded plaster work are noted and have been highlighted also on the plan. Within the boardroom there is slight sign of water ingress which has caused some damp staining adjacent to the entrance door which may need some attention. Generally there should be no disturbance to the ornate plaster work or indeed the raised computer floor over.



Ground floor

Observations

Inspection again was very limited due to floor coverings and carpets / plywood overlays etc. Inspection was possible to the underside of limited ground floor timbers from within the plant room cellar areas where ceilings do not exist and no obvious signs of infestation or decay were notable

Where inspection was possible, no active infestation was noted to the accessible timbers inspected. Due to failure of the glass lantern roof and flat roof above, water is freely running through the right side of the building, through the first floor and ground floor. Timber decay was noted, between 38.1% and 100% moisture meter reading were noted at the time of survey, to the entire floor, and wooden wall panelling, directly below the glass lantern roof from the first floor, as pictured below. Wet rot decay by Cellar Fungus (*Coniophora puteana*) was noted to these timbers. The entire floor to the right-hand side of the building is flooded and timbers are compromised. Again, there are areas of damp affected plaster work through ongoing water ingress which has degraded the plaster.



Areas of moisture / decay to timbers within highlighted in red to floor plan above. SEE PLAN BELOW*

Basement / Lower Ground Floor

Observations

The ground floor is generally constructed of a concrete slab. Suspended timbers to both plant rooms were tested using a handheld moisture meter with readings of 22.6% to 23.4%, and timbers that are in direct contact with masonry we must stress we have seen no obvious signs of infestation or decay to these timbers.



Recommendations

Client to remove existing floor coverings and floor boards to expose timber floor joists to areas of noted water ingress **specific to the areas highlighted on the marked up amended plan below**, remove and replace any decayed timbers, ensuring timbers are not in direct contact with masonry. Whilst timbers are exposed Timberwise to apply a **localised** dual fungicidal/ insecticidal.

Areas of degraded plaster work through water ingress should be removed to expose masonry behind.

Timberwise are to treat the masonry which has been exposed through plaster removal with a masonry biocide sterilisation treatment.

We have detailed below the items of work that Timberwise will be pleased to undertake for you, together with quotations. Ensuring all external defects are rectified and building is watertight.

Specification for the Guaranteed Control of Wood Boring Insects / Wood Rotting Fungi

Important note – All items of importance / architectural items moved must be catalogued, referenced and stored to the dedicated safe space.

To be carried out by Timberwise

SPECIFICATION for Guaranteed Treatment Against Wood Boring Insect Attack

Areas for Treatment to exposed floor areas and adjacent where opened up to investigate and carry out repairs.

Client to expose all ceiling and floor timbers to **areas of water ingress as detailed on plan below / where degraded plaster exists** as mentioned above in preparation for Timberwise to apply a dual fungicidal/insecticidal for localised treatment. Any varnished or painted timbers will need to be striped back to the original timber before treatment.

Timberwise Technicians will clean down and prepare timbers as necessary for treatment; apply spray treatment of Timberwise Insecticidal Fluid to areas of water ingress as per above.

Timberwise Technicians will Applying masonry biocide treatment / sterilisation to exposed masonry

Post Treatment Emergence –

In the treatment of timbers for eradication of woodborers, it is possible that a few deep-seated larvae may escape the immediate effect of the treatment by being below the limit of chemical penetration. These larvae may subsequently emerge as adult beetles in the three years (for Common Furniture Beetle) following treatment. In the case of Death Watch Beetle, the period of emergence may be even longer because of their longer life cycle. Should this happen, the beetles will die upon emergence but would give the impression that re-infestation has occurred.

The treatment to timbers will prevent the development of any further eggs and with the final emergence of beetles the treatment becomes completely effective. Therefore, the infestation will eventually die out. Due to post treatment emergence of beetles, it is clear that any suspected failure of the treatment cannot be ascertained for at least three years or more after treatment and re-inspection within this period would therefore be inconclusive and serve no useful purpose.

Discolouration of timbers

Please be aware that there is a possibility, although relatively small, for discolouration to occur to the treated timbers following the application of our insecticidal fluid. This can be more pronounced where the existing timbers have been sand/grit blasted or soda blasted prior to the treatment process. Unfortunately, this can sometimes occur due to the water based chemical reacting with any residue from the blasting. We cannot accept any liability for this should this occur.

Internal Damp Observations, Recommendations and Specification

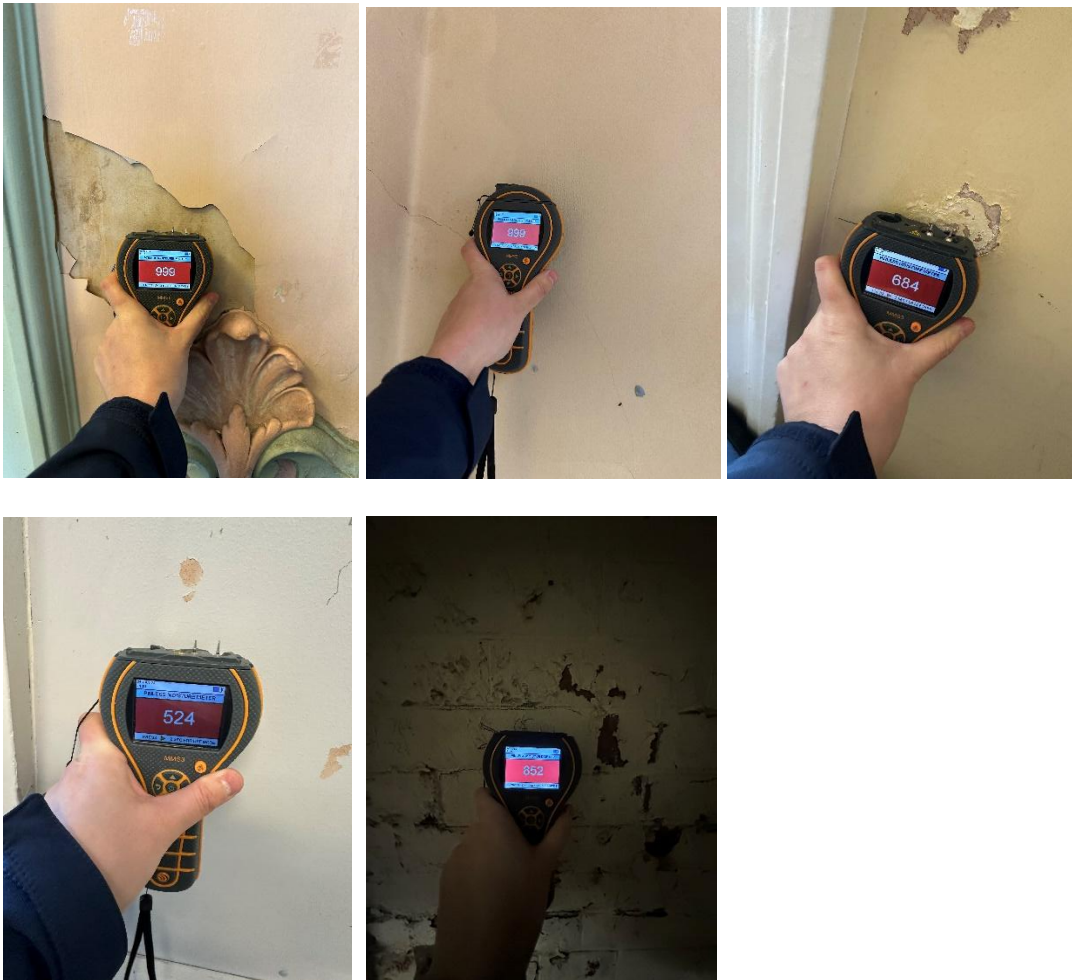
Our inspection was restricted by fitted units, tiled walls, furniture, stored items, fitted floor coverings, dry-linings, therefore our findings are limited accordingly.

Our specialist survey was restricted to those rooms or areas that you have requested us to inspect, and we therefore cannot comment on the conditions, good or bad, which may prevail elsewhere in the property and any contract arising from or deemed to have been entered into by reason of this survey is limited accordingly.

Observations

Rainwater penetration

Water stained/visibly damp and defective plaster was noted to the second, first and ground floor as per marked sketches below, this is due to rainwater penetration from the (leaking gutters, defective pointing, flashings, defective roof coverings, defective flashings, spalled brickwork, decayed joinery) identified in our external observations above.



Rising dampness Basement / Lower Ground Floor

Moisture profiles were plotted on the walls with an electronic conductivity meter, the profiles recorded indicate both an ongoing rising damp issue to the basement/lower ground floor. Conductivity meters are non-destructive and only give an indication of moisture content on masonry but a true reading on timber.

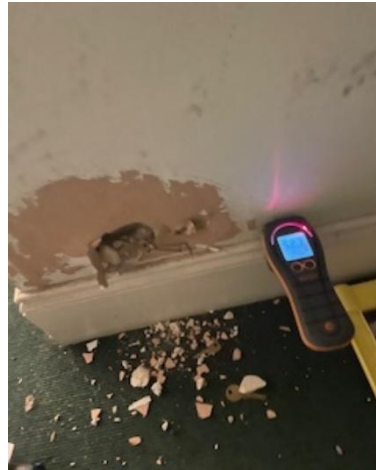
Visible damp, salt contaminated plaster was noted to the areas as noted on the floor plans below.

We respectfully draw your attention to the previously listed external observation/defects, and it is imperative that these defects are rectified as soon as possible as they could be contributing to the overall dampness within the property.

After consideration of the instrumental readings, soluble salt contamination and other relevant factors, it is assessed that various walls within the property are affected by rising dampness. The installation of an electro osmosis damp proof course is recommended to the areas indicated on the enclosed sketch plan and technical drawings.

Update

We are now of the understanding that we are not to implement the osmosis system to the lower ground floor walls or other associated works we recommended within the lower ground floor. This information was passed to our Graham Bulmer at the meeting held 2/2/26, we will remove these costings for these works from our quotation.





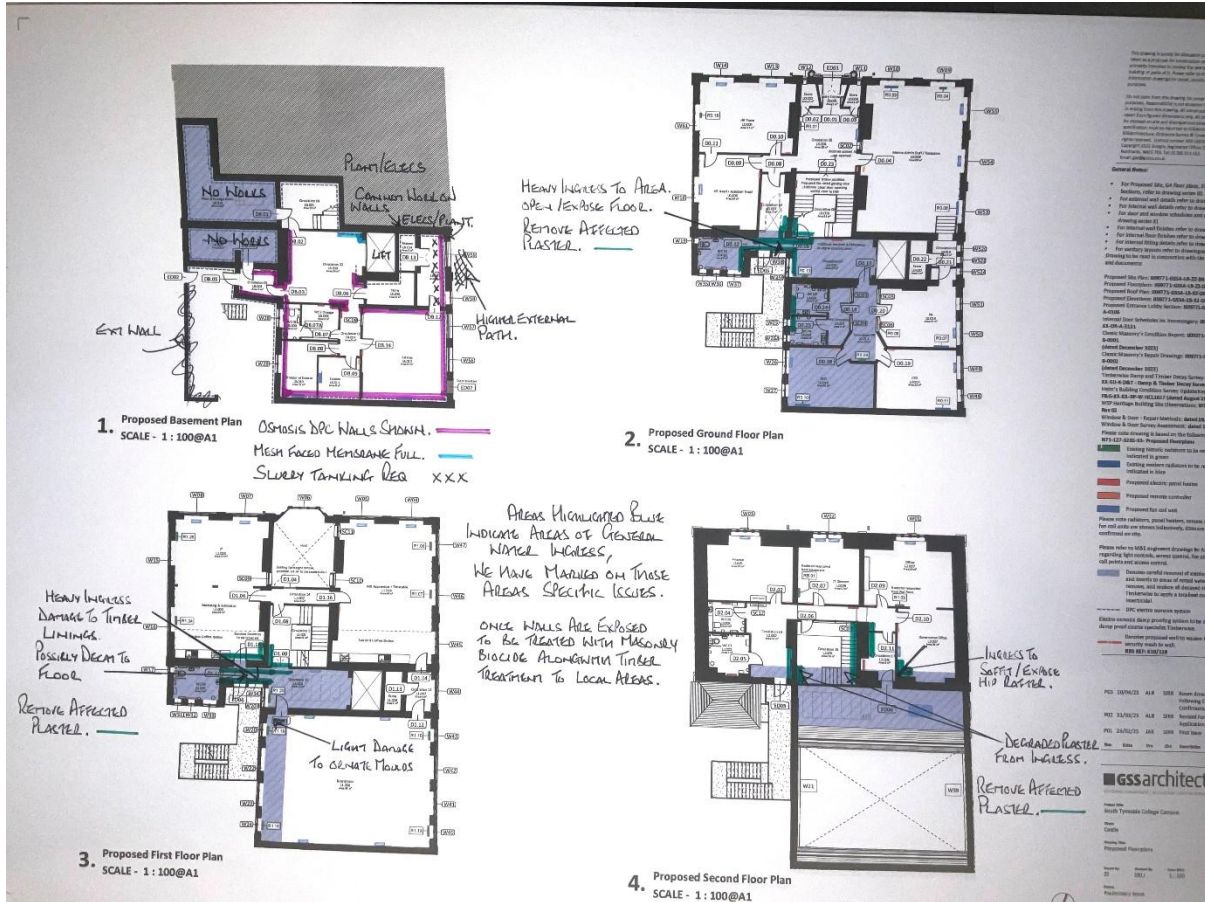
The majority of the lower ground floor / basement walls are above external ground levels with the exception of the left hand elevation we pointed out earlier and shown on photograph above however, within the basement there are walls which may be subject to high levels of earth against though these walls are midsection to the building we are most likely unable to carry out any works due to the restrictions of the electrical plant equipment on the electrical supplies on those walls see photograph below we for the time being have omitted any works to these areas though they are not showing any significant signs of being degraded at this point in time.



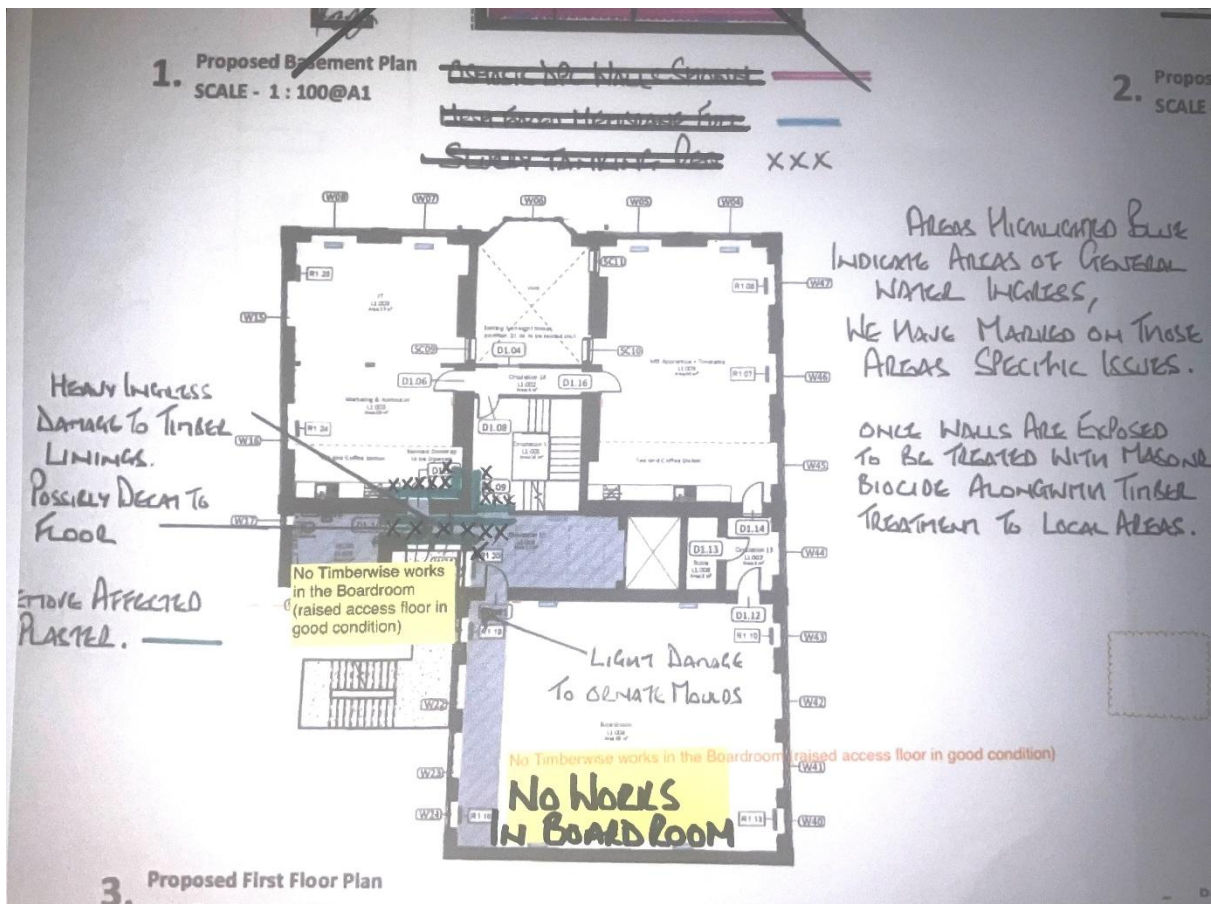
Solid floors

The testing of solid floors to determine the presence and effectiveness of a suitable damp-proof membrane falls outside the scope of our inspection due to the necessity for destructive drilling of the floor slab. We are therefore unable to give any warranty as to condition or performance of the floor.

AMENDED / UPDATED PLAN* AUGUST 2025

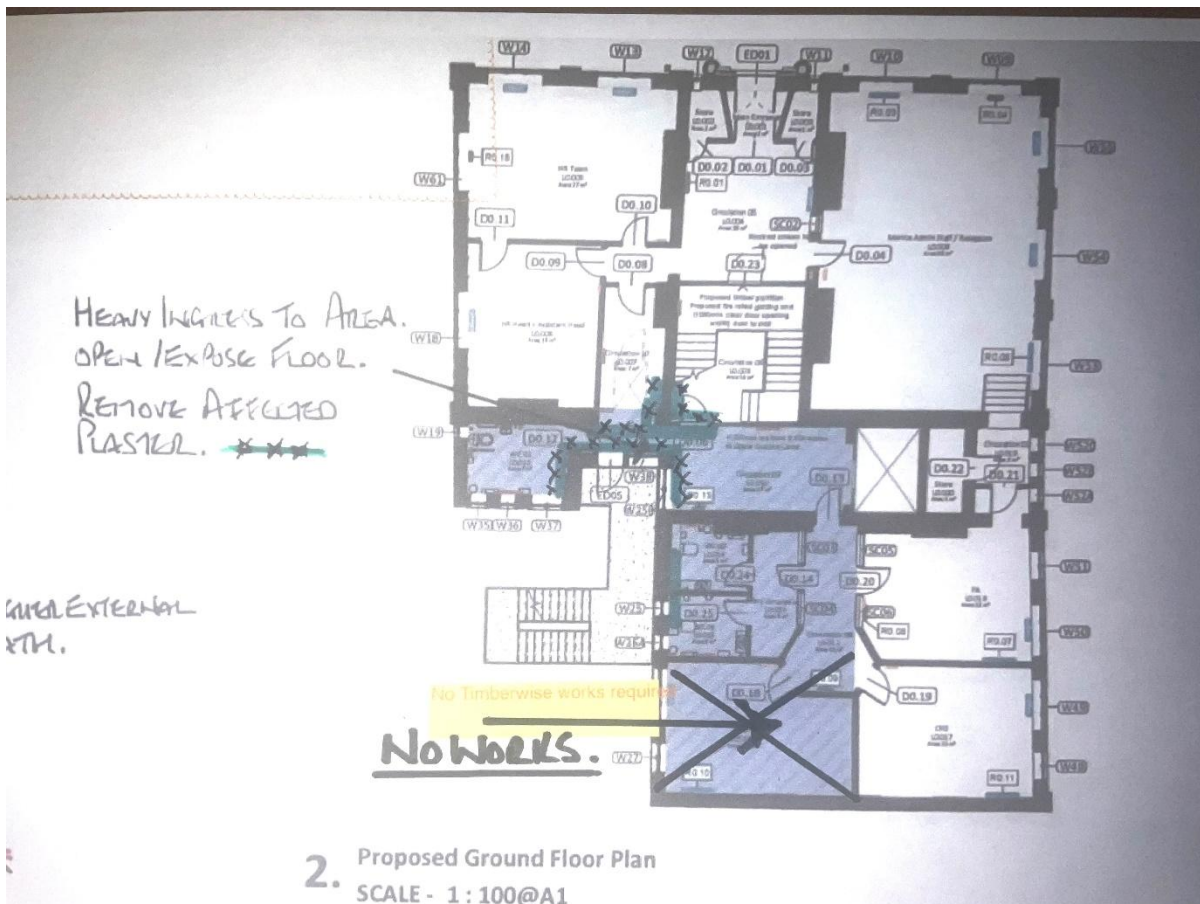
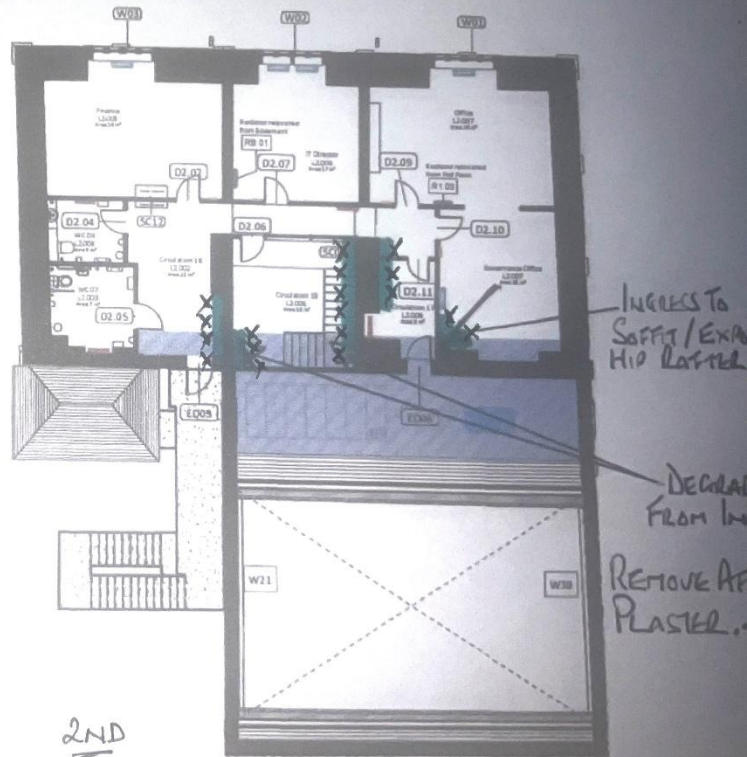


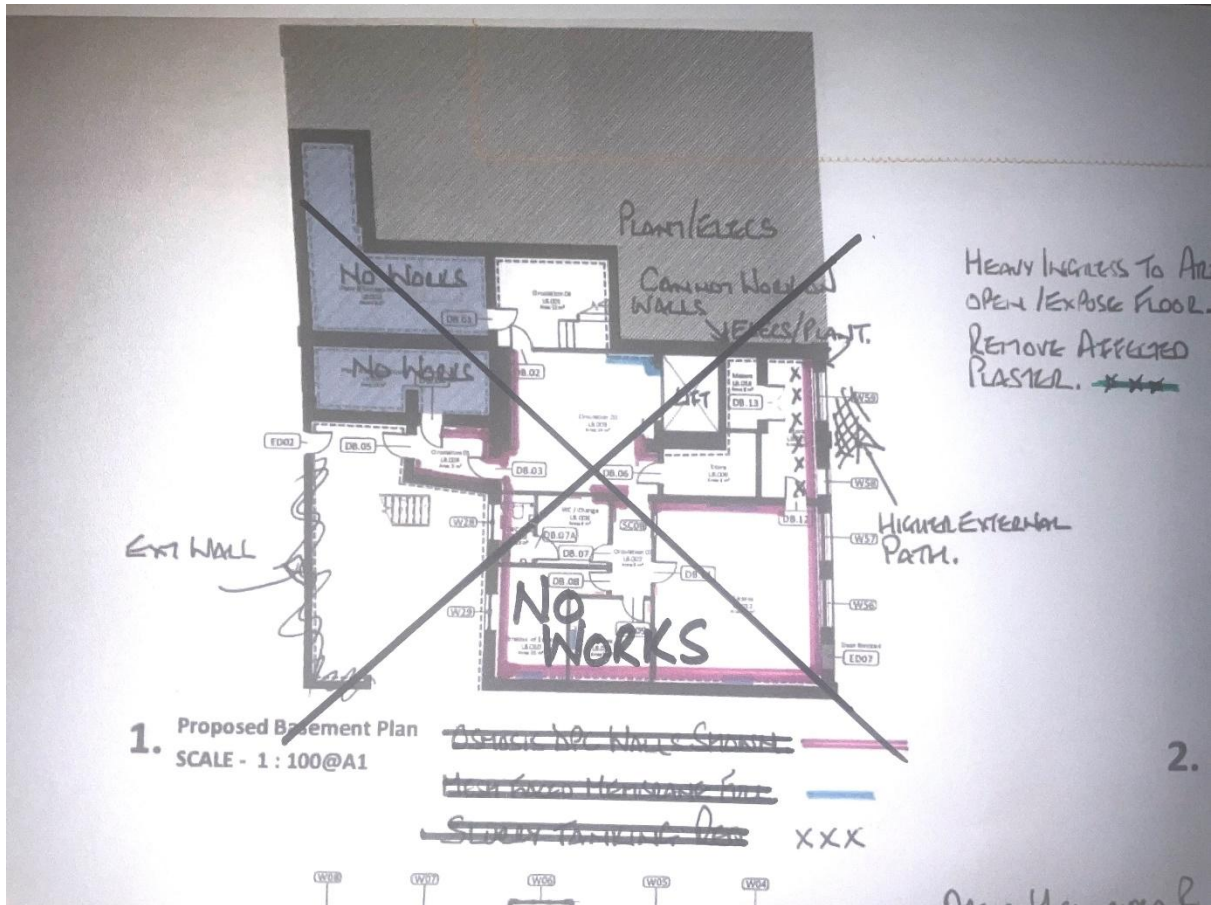
REVISED BY / ON SITE FEBRUARY 2026



AREAS HIGHLIGHTED BLUE
INDICATE AREAS OF GENERAL
WATER INGRESS,
WE HAVE MARKED ON THOSE
AREAS SPECIFIC ISSUES.

ONCE WALLS ARE EXPOSED
TO BE TREATED WITH MASONRY
BIOCIDE ALONG WITH TIMBER
TREATMENT TO LOCAL AREAS.





Recommendations

We have detailed below the items of work that Timberwise will be pleased to undertake for you, together with quotations.

Client to ensure external defects are rectified and the building is watertight. Client to remove damp and defective plaster, taken back to the brick work allowing for a drying out period.

Specification for the Guaranteed Control of Rising Damp

Timberwise Electro Osmosis system

This system has been rejected along with our other recommendations for the lower ground floor area we also understand that a chemical injection damp proof course was originally not accepted therefore the osmosis system was recommended we have now removed the osmosis quotation and recommendations to the lower ground floor area.

Further Information

Timber Treatment

Whilst every care will be taken, Timberwise can hold no responsibility for timber treatment fluid that leaches through cracks and fissures within the ceiling. Some staining may occur however, this has no effect on the plaster and can be covered with stain blocker and then normal decoration. Should the client require further information on the chemicals used, please do not hesitate to request the chemical data sheets from our office.

Discolouration of timbers

Please be aware that there is a possibility, although relatively small, for discolouration to occur to the treated timbers following the application of our insecticidal fluid. This can be more pronounced where the existing timbers have been sand/grit blasted or soda blasted prior to the treatment process. Unfortunately, this can sometimes occur due to the water based chemical reacting with any residue from the blasting. We cannot accept any liability for this should this occur.

Electrical sockets

Where electrical points have to be removed to allow for our treatments, it is necessary for them to be re-fitted by a qualified electrician. The points will be left safe by our technician and should not be used until fixed and tested by your own qualified electrician.

Radiators /associated pipe work

You should arrange for your own plumber to remove and re-fit radiators, pipes and other fittings as necessary to facilitate the proposed works detailed in this report. If you have requested Timberwise to remove the radiator as part of the strip out and preparation works, we respectfully advise, as part of these works, the radiator valves are closed off at both ends, which is the only part of the central heating system we will come in contact with. Should for any reason these valves be faulty, Timberwise will not be responsible for these items.

Generally

The above report is based upon our instructions as we understand them. If any part of this report and/or the attached quotation requires clarification or fails to address your expectation, please contact the office/surveyor and let us know of your concern immediately.

Although our report may refer to certain parts of the structure (External and Internal Observations) we are not chartered, or structural surveyors and our report must not be interpreted as such. If you have any concerns about the structure of the property you should contact a qualified structural surveyor or engineer.

Guarantee

Our long-term guarantee for Damp Proofing and Timber Treatment works unless otherwise stated in our report will be issued when the final account has been settled. In addition to our guarantee, as we are members of the Property Care Association, we are pleased to offer you the added benefit of the Guarantee Protection Insurance Limited "backup" fully insured guarantee. The premium is shown as a separate item on our quotation.

Asbestos

We understand that an Asbestos Survey has not been carried out at the property. Our survey was of a non-destructive nature. The Control of Asbestos Regulations 2012 places certain duties on those that are responsible for the repair and maintenance of buildings. As is the norm with all contractors, we ask to see the Asbestos Register prior to the start of works on site. During works, should we uncover suspected asbestos containing materials Timberwise may have to suspend work to have the material investigated for asbestos. We will stop work, seal the area and immediately inform you. Testing for asbestos is an easy procedure which we can either deal with on your behalf or make recommendations. This will, however, incur additional charges. Please note that we do not get involved in the removal process of asbestos.

You are responsible for the removal of any fixtures, floor coverings, plumbing, electrical fittings and any other stored items including personal possessions prior to our arrival on site. These will require removal prior to our technicians arriving on site and the subsequent re-instatement by others. Any delay caused due to floor coverings and items not having been removed may become subject to additional cost due to either work commencement being delayed or it not being possible to complete during that visit. **Please note that it is important that all necessary preparatory works are completed prior to our arrival and commencement on site.**

No allowance has been made in our quotation for removal or re-instatement of any electrical fixtures or carpets etc. from the areas to be treated, unless stated in our report or included in our quotation.

Our enclosed quotation is based on carrying out the work during normal working hours (Monday to Friday) and also that a free supply of electricity and water will be provided. To arrange for the soonest possible start date for the works to proceed please complete and return the enclosed Acceptance to the local office. If you would like to arrange a provisional start date by telephone, then please call the local office on **01133410323** or **01133410324**.

We are able to carry out works at weekends or out of normal daytime hours (subject to additional costs). Please contact our contracts department to enquire further.

IMPORTANT CLIENT INFORMATION

Please ensure that you read the attached terms and conditions, as they contain important information about your quotation.

Yours sincerely,

Martin Wilkinson

CSRT CSSW

Senior Surveyor

For and on behalf of Timberwise (UK) Ltd.

Mobile: 07717478079

Email martinwilkinson@timberwise.co.uk

For and on behalf of TIMBERWISE (UK) LIMITED

Note: This report is for the benefit and use of the addressee. We accept no responsibility for our survey, or this report towards any other Company or person. On no account must it be duplicated or copied in whole or part without our written consent.